

# DEVELOPMENT REVIEW BOARD REPORT



MEETING DATE: May 19, 2005

ITEM NO. 11

CASE NUMBER/  
PROJECT NAME

**21-DR-2005**  
**Comerica Bank**

LOCATION

14801 N Scottsdale Road

REQUEST

Request approval of a site plan and elevations for the construction of a new bank.

OWNER

Comerica Bank  
310-725-4192

ENGINEER

D R W Engineering  
623-478-8800

ARCHITECT/  
DESIGNER

DWL Architects  
602-264-9731

APPLICANT/  
COORDINATOR

Jeremy Jones/Chris Ilg  
DWL Architects  
502-264-9731

BACKGROUND

**Zoning.**

The site is zoned Industrial Park (I-1). The I-1 zoning district allows for a bank with the approval of a conditional use permit.

**Context.**

The site is located on 14801 north Scottsdale Road and east of 73<sup>rd</sup> Street. There is an existing State Farm building that will be demolished to make room for the proposed building. Proposed commercial buildings to the south and east will share the site's access through cross access easements. The surrounding property is zoned I-1.

**Adjacent Uses:**

- North: Industrial I-1, Developed
- South: Industrial I-1, The parcel on the southern boundary is vacant, beyond that parcel is developed
- East: Industrial I-1, The parcel to the east is vacant with 73<sup>rd</sup> Street along the eastern border
- West: Scottsdale Road is along the western property frontage. The zoning west of Scottsdale Road is Planned Commercial District PCD.

APPLICANT'S  
PROPOSAL

**Applicant's Request.**

The applicant plans to demolish the existing building and erect the proposed bank. The site circulation, parking and open space will be redesigned to meet the needs of the bank.

**Development Information:**

- Existing Use: Office Building
- Proposed Use: Bank
- Parcel Size: 50,110 Square Feet

- Building Size: 4,277 Square Feet
- Building Height Allowed/Proposed: Allowed 35 feet Proposed 28 Feet 10 Inches
- Parking Required/Provided: Required 15 Spaces Proposed 25 Spaces
- Open Space Required/Provided: Required 8,018 SF Provided 17,715 SF
- FAR: N/At

**DISCUSSION**

The existing site will be divided into three parcels. The proposed bank will be located on the northern parcel. The site has access from Scottsdale Road and there will be cross access easements dedicated between the three proposed parcels that will provide alternative access.

The building is constructed of beige brick E.I.F.S. The accent band is painted to match the roof and is flush with all brick pilasters. The roof is metal standing seam with a copper finish. Copper finish trim is used on the parapet and fascia and an aluminum curtain wall is proposed at the tower entry with a copper painted finish. The entrance to the building is located through the tower element. Two drive-through lanes are proposed along the north side of the building. Aluminum storefront windows will be glazed and recessed a minimum of 50% at wall depth. The window glazing type is Viracon 1" OA VRE4-54 insulated HS/AN (Bronze tint, 14% visible light reflective).

The proposed landscaping includes a xeriscape palette with arid planting of desert varieties to include a combination of Phoenix Mesquite, Texas Ebony, Palo Brea, and Pink Orchid Trees.

**OTHER BOARDS AND COMMISSIONS**

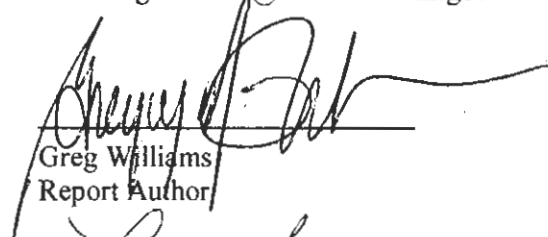
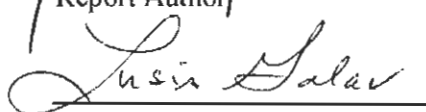
36-UP-2005 Planning Commission Approved  
36-UP-2005 City Council Scheduled for May 17, 2005

**STAFF RECOMMENDATION**

Staff recommends approval, subject to the attached stipulations.

**STAFF CONTACT (s)**

Greg Williams  
Senior Planner  
Phone: 480-312-4205  
E-mail: gwilliams@ScottsdaleAZ.gov

**APPROVED BY**  
\_\_\_\_\_  
Greg Williams  
Report Author  
  
\_\_\_\_\_  
Lusia Galav, AICP

Lusia Galav, AICP  
Development Planning Manager  
Phone: 480-312-2506  
E-mail: lgalav@scottsdaleAZ.gov

ATTACHMENTS

1. Applicant's Narrative
2. Context Aerial
- 2A. Aerial Close-Up
3. Zoning Map
4. Site Plan
5. Landscape Plan
6. Elevations
7. Streetscape/Site Sections
- A. Fire Ordinance Requirements
- B. Stipulations/Zoning Ordinance Requirements



# Project Narrative

This document will be uploaded to a Case Fact Sheet on the City's web site.

Date: 3-18-05

Project No.: 546 - PA - 04

Coordinator: GREG WILLIAMS

Case No.: 21 - DE - 2005

Project Name: COMERICA BRANCH BANK

**Project Location:** 14801 NORTH SCOTTSDALE ROAD, 85260

## Property Details:

☐ Single-Family Residential    ☐ Multi-Family Residential    ☒ Commercial    ☐ Industrial

Current Zoning: I-1    Proposed Zoning: I-1

Number of Buildings: 1    Parcel Size: 50,110 S.F.

Gross Floor Area/Total Units: 4,277 S.F.    Floor Area Ratio/Density: 8.5%

Parking Required: 18    Parking Provided: 27

Setbacks:    N - ---    S - ---    E - ---    W - 50'-0"

## Description of Request:

Comerica Bank is a full service banking institution from Detroit, Michigan. The Scottsdale Main Branch Bank is one of several proposed Comerica banking locations throughout Scottsdale and the Valley. Comerica Bank is expanding its territory to the West beginning with Arizona and California. This expansion carries with it Comerica's dedication to quality and community, as exemplified through the Comerica Ballpark, home of the Detroit Tigers.

The Comerica Branch Bank of Scottsdale will offer clients a variety of amenities. The four (4) drive thru lanes will allow patrons convenient access to a teller or ATM. With ample parking and pedestrian access, clientele can easily reach the building for their full service banking needs. The Scottsdale Road location is prominent and adjacent to many other facilities and services.

The proposed Branch Bank building reflects its Detroit branch counterparts while adapting to the Valley's environment and commercial texture. A light beige brick and copper painted roof blend with native landscape and surrounding developments. This adaptation of the Detroit model allows current patrons to recognize the Detroit bank in its new context while simultaneously inviting new customers to become part of the Comerica banking community.

A State Farm building currently occupies the proposed site and will be demolished for the construction of the new bank. Similarly, the existing landscaping will be replaced with desert varieties in accordance with Scottsdale's design standards. The new building and landscaping will amplify the quality of the neighborhood and enhance the already thriving commercial area.

## Planning and Development Services Department

7447 E Indian School Road, Suite 105, Scottsdale, AZ 85251 • Phone: 480-312-7000 • Fax: 480-312-7088

ATTACHMENT #1



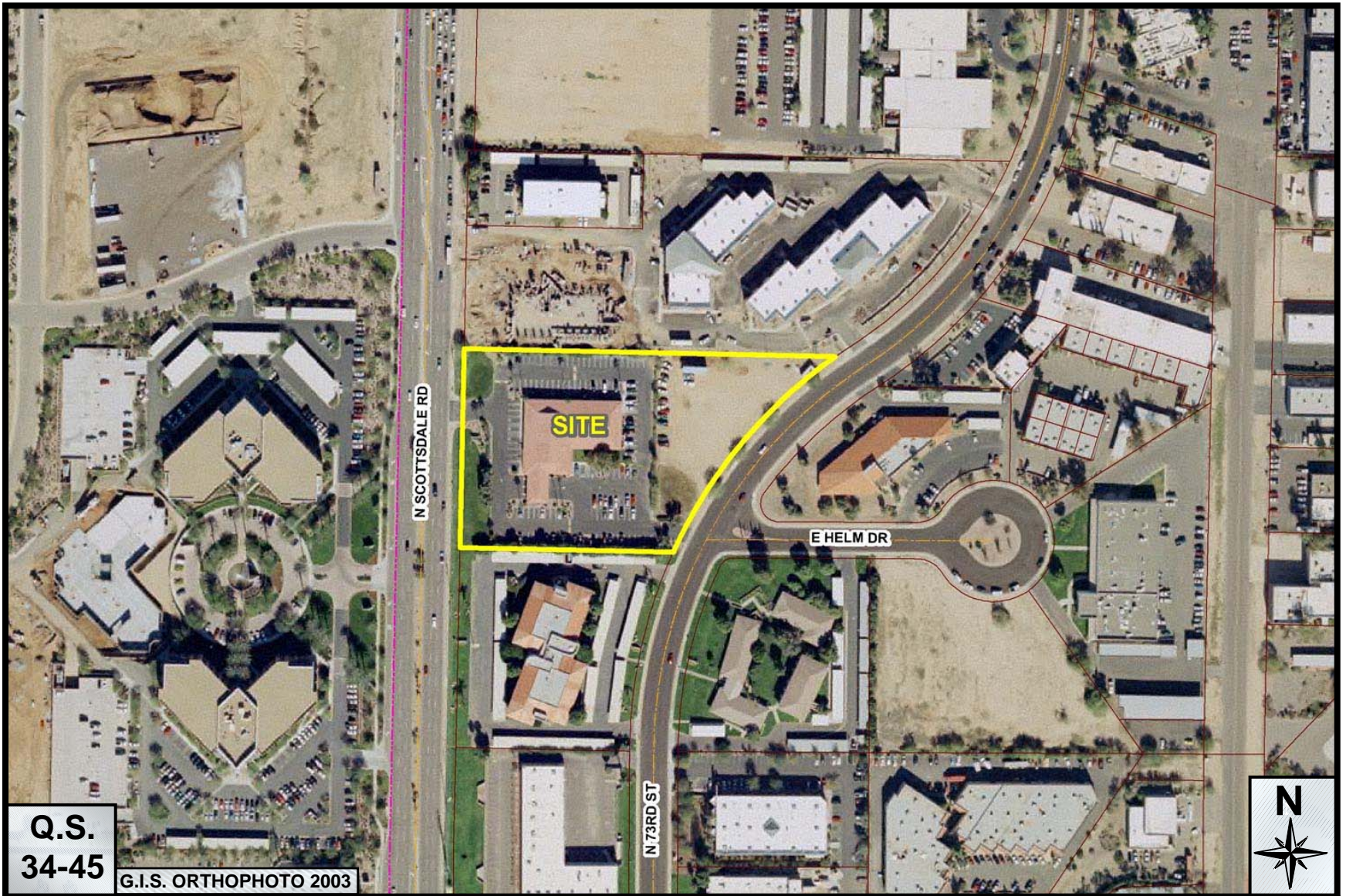


Comerica Bank

**21-DR-2005**

ATTACHMENT #2





Comerica Bank

21-DR-2005

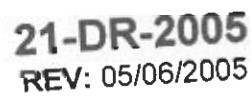
ATTACHMENT #2A



21-DR-2005

ATTACHMENT #3





REQUIRED PARKING = 18  
PROVIDED PARKING = 25



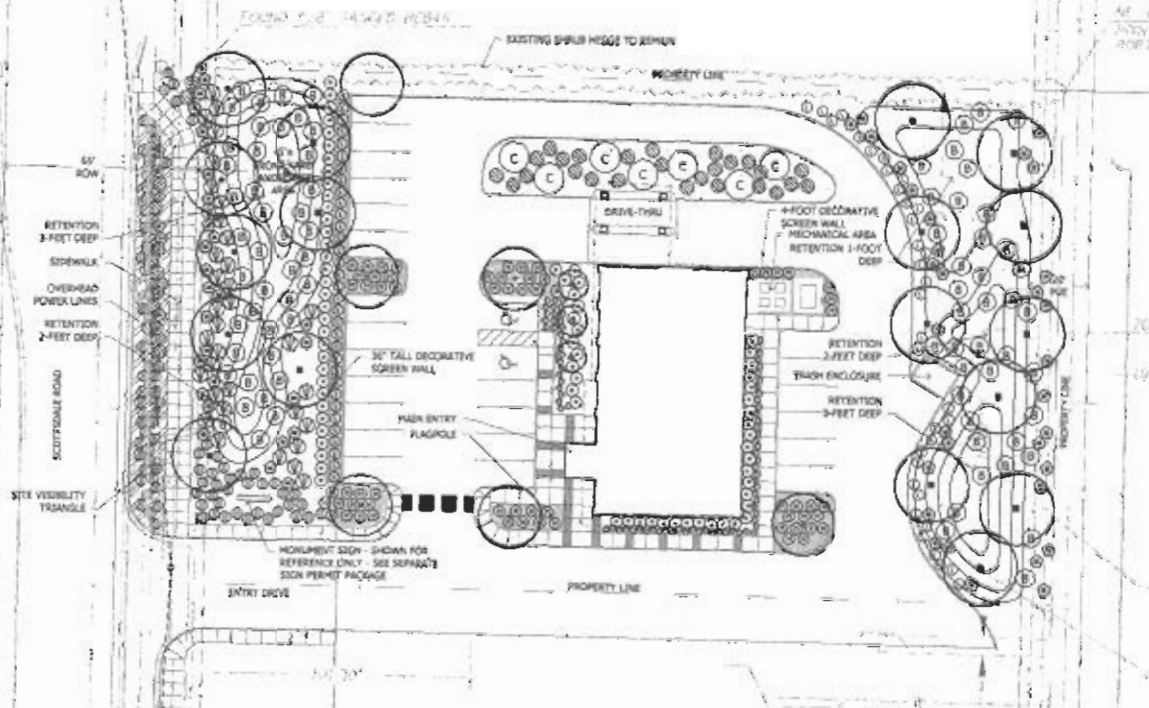


# PLANTING NOTES

- LANDSCAPE CONTRACTOR SHALL REFER TO PROJECT SPECIFICATIONS AND DETAILS IN ALL CASES. THESE PLANTING NOTES SHALL IN NO WAY SUPERSEDE OR CONTRADICT INFORMATION INDICATED IN PROJECT SPECIFICATIONS AND DETAILS.
- LANDSCAPE CONTRACTOR SHALL REVIEW PROJECT WITH THE LANDSCAPE ARCHITECT BEFORE STARTING WORK.
- THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT AND/OR THE OWNER'S REPRESENTATIVE REGARDING ANY DISCREPANCIES IN THE PLANS OR WITH ANY QUESTIONS BEFORE STARTING WORK.
- CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS BEFORE STARTING WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL NECESSARY PERMITS AND SHALL NOTIFY ALL UTILITY COMPANIES BEFORE CONSTRUCTION. CONTRACTOR SHALL ADHERE TO ALL APPLICABLE LOCAL, STATE, AND/OR FEDERAL LAWS OR REGULATIONS PERTAINING TO THE PROJECT.
- CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES BEFORE DIGGING. CONTRACTOR SHALL PROTECT AND TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF SAID UTILITIES OR STRUCTURES.
- CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONARY MEASURES TO PROTECT ADJACENT PROPERTIES FROM WORK PERFORMED.
- LANDSCAPE CONTRACTOR SHALL ENSURE THAT DRAINAGE FLOWS ARE NOT IMPAIRED BY OBSTRUCTIONS DURING CONSTRUCTION AND THAT FINAL GRADES FOLLOWING CONSTRUCTION CONFORM TO PROJECT GRADING AND DRAINAGE PLANS.
- LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REFUSE ANY PLANT MATERIAL THAT DOES NOT CONFORM TO SELECTION CRITERIA DESCRIBED IN SPECIFICATIONS.
- ANY AND ALL SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND/OR OWNER'S REPRESENTATIVE.
- LOCATE PLANTS AWAY FROM SPRINKLER HEADS, LIGHT FIXTURES, AND OTHER OBSTRUCTIONS.
- PLANTING AND IRRIGATION LAYOUT MAY BE REASONABLY MODIFIED DUE TO ON-SITE CONDITIONS THAT MAY DIFFER FROM PLANS.
- FINAL LOCATION OF ALL PLANT MATERIALS SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER'S AUTHORIZED REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT.
- DO NOT TEST TREE PITS TO DETERMINE HUMAN CONDITIONS PER DETAILS.
- USE PLANT M&S AS INDICATED IN SPECIFICATIONS.
- STAKE TREES PER SPECIFICATIONS AND DETAILS.
- DECOMPOSED GRANITE AREAS SHALL BE TREATED WITH PRE-EMERGENT BEFORE AND AFTER DECOMPOSED GRANITE APPLICATION (SEE DETAILS). REAPPLY AS NECESSARY TO COMPLETELY KILL WEEDS AND AS NECESSARY DURING THE MAINTENANCE PERIOD, REMOVE DEAD GRASS.
- DECOMPOSED GRANITE SHALL EXTEND UNDER SHRUBS UNLESS OTHERWISE NOTED ON PLANS.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF LANDSCAPED AREAS DURING CONSTRUCTION AND FOR A PERIOD FOLLOWING CONSTRUCTION (AS NOTED IN THE SPECIFICATIONS). MAINTENANCE SHALL INCLUDE WATERING, TRIMMING, WEEDING AND CULTIVATING OF PLANT BEDS.

## ADDITIONAL NOTES:

- At least 50% of all trees shall be native in size (10"-12" tall by 2" wide, or 2" caliper single trunk, 1" avg. caliper multi-trunk) and shall conform to the CCS minimum tree size requirements.
- All landscaped areas shall be covered in decomposed granite.
- All proposed plant material are included on the "Low Water Use Plant List" prepared by the Arizona Department of Water Resources.
- Landscaped areas in decomposed granite shall not exceed more than seven feet in any one direction measured between plant openings.



## PLANT LEGEND

### TREES

#### BOTANICAL NAME

#### COMMON NAME

#### SIZE

#### QTY.

#### REMARKS

#### CALIPER

#### PROPOSED

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#### REMARKS



TRANSELL CROW COMPANY  
**COMERICA BANK**  
 14801 NORTH SCOTTSDALE ROAD  
 SCOTTSDALE, ARIZONA 85260



DEVELOPMENT  
 REVIEW BOARD  
 SUBMITTAL

**21-DR-2005**  
**REV: 05/06/2005**

WEST ELEVATION SOUTH ELEVATION	
A4	
DATE: 05/05/05	SCALE: 1/4" = 1'-0"
BY: CB	CHECKED BY: AJ
DATE: 05/05/05	SCALE: 1/4" = 1'-0"



MONUMENT SIGN PERSPECTIVE  
NOT TO SCALE



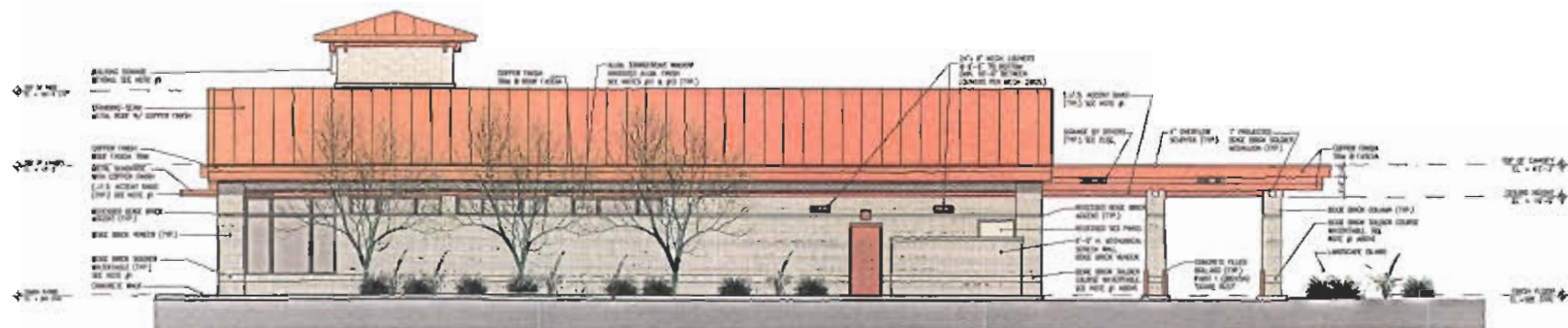
SITE WALL PERSPECTIVE  
NOT TO SCALE



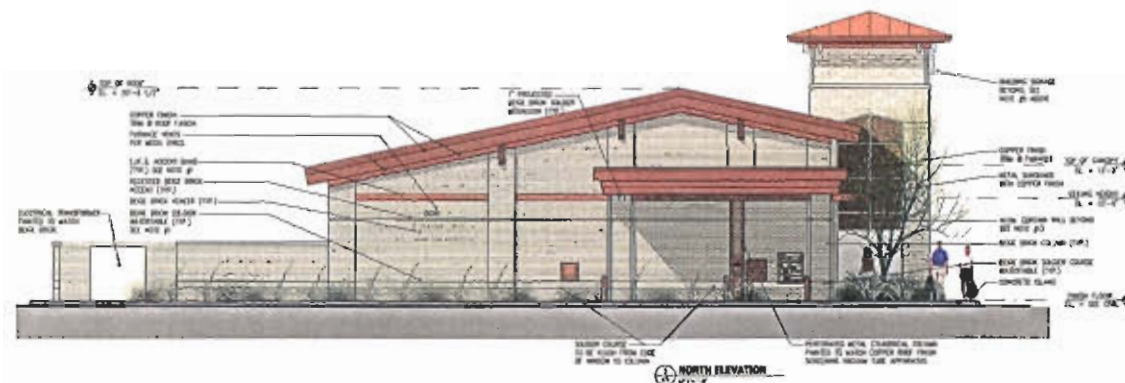
TRASH ENCLOSURE ELEVATION  
NOT TO SCALE

#### ELEVATION NOTES

1. EXISTING EXTERIOR WALLS AND ROOFING TO BE DEMOLISHED TO BE REPLACED BY NEW BRICK PLANTING A CORNER, AND HAVE 1:1/2" PROJECTION ON ALL EXTERIOR WALLS BETWEEN PLANTING.
2. EXISTING EXTERIOR WALLS TO BE PAINTED TO MATCH NEW COLOR.
3. ROOF TO BE DEMOLISHED, REPAIRED FOR LOCATION OF EXISTING, PERMITS, AND OTHER TYPICAL PLUMBING.
4. BANK EQUIPMENT BY OWNER, A.C. TO CORRESPOND LOCATION AND INSTALLATION BY BANK EQUIPMENT SUPPLIER.
5. BUILDING SHOWN BY OWNER, A.C. TO CORRESPOND LOCATION AND INSTALLATION BY OWNER, SUPPLIER TO ELECTRICAL, MECHANICAL, AND OTHER TYPICAL PLUMBING. ALL SHOWN SHALL BE SEPARATE PERMIT AND APPROVAL.
6. EXTERIOR PAINTED FINISH ON METAL ROOF.
7. EXTERIOR ALUMINUM ROOF TO MATCH EXTERIOR FINISH ON METAL ROOF.
8. METAL SHOWN TO MATCH EXTERIOR FINISH ON METAL ROOF.
9. ALL BRICK TO MATCH EXTERIOR BRICK (SEE - BRICK - SEE SPECIFICATIONS FOR DETAILS).
10. EXISTING EXTERIOR FINISH TO MATCH COLOR OF EXTERIOR FINISH.
11. ALL GLASS, WINDOW 1" OR MORE TO BE SHOWN IN GLASS (SEE SPECIFICATIONS FOR DETAILS).
12. ALL WINDOW GLASS TO BE RECESSED A MINIMUM OF 1/2" OF THIS GLASS.
13. ALUMINUM CURTAIN WALL AT EXTERIOR CORNER WITH EXTERIOR FINISH (SEE SPECIFICATIONS FOR DETAILS, WINDOW, GLASS TO THE EXTERIOR, THE BUILDING ENTRY IS WITH THE EXTERIOR).



EAST ELEVATION  
NOT TO SCALE



NORTH ELEVATION  
NOT TO SCALE



DWLANCHTECTS  
1111 North Central Avenue  
Phoenix, Arizona 85004-1111  
Tel: 602.261.8700 Fax: 602.261.8701



TRAMELL CROW COMPANY  
**COMERICA BANK**  
14801 NORTH SCOTTSDALE ROAD  
SCOTTSDALE, ARIZONA 85280



DEVELOPMENT  
REVIEW BOARD  
SUBMITTAL

**21-DR-2005**  
**REV: 05/06/2005**

EAST ELEVATION  
NORTH ELEVATION

A5

DATE: 05/06/05  
DRAWN: J4  
CHECKED: J4  
6424.00





1 STREETScape, ELEVATION



2 SITE SECTION B-B  
SCALE 1/8" = 1'-0"



3 SITE SECTION A-A  
SCALE 1/8" = 1'-0"

**DWL ARCHITECTS**  
1000 North Central Expressway  
Suite 1000  
Phoenix, Arizona 85004-1500  
Tel: 602.944.8100 Fax: 602.944.8101



TRAMELL CROW COMPANY  
**COMERICA BANK**  
14801 NORTH SCOTTSDALE ROAD  
SCOTTSDALE, ARIZONA 85260



DEVELOPMENT  
REVIEW BOARD  
SUBMITTAL

**21-DR-2005**  
REV: 05/06/2005

STREETSCAPE ELEV.  
SITE SECTIONS

SP-2  
DATE: 05/06/05  
BY: [signature]  
CHECKED: [signature]  
DATE: 05/06/05

**ATTACHMENT A, FIRE ORDINANCE  
REQUIREMENTS UNAVAILABLE AT TIME OF  
PACKET PRINTING.**

**ATTACHMENT A WILL BE DISTRIBUTED WHEN IT  
BECOMES AVAILABLE.**

## **Stipulations for Case: Comerica Bank Case 21-DR-2005**

Unless otherwise stated, the applicant agrees to complete all requirements prior to final plan approval, to the satisfaction of Project Coordinator and the Final Plans staff.

### **PLANNING**

#### **APPLICABLE DOCUMENTS AND PLANS:**

##### **DRB Stipulations**

1. Except as required by the City Code of Ordinances, Zoning Regulations, Subdivision Regulations, and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
  - a. Architectural elements, including dimensions, materials, form, color, and texture, shall be constructed to be consistent with the building elevation sheets A4 and A5 submitted by DWL Architects with staff receipt and seal dates of 5/6/2005.
  - b. The location and configuration of all site improvements shall be constructed to be consistent with site plan sheet SP1 submitted by DWL Architects with staff receipt date and seal dates of 5/6/2005.
  - c. Landscaping, including quantity, size, and location of materials shall be installed to be consistent with the conceptual landscape plan sheet L-1 submitted by DWL Architects with a staff receipt date of 5/6/2005 and a seal date of 5/5/2005.

#### **ARCHITECTURAL DESIGN:**

##### **DRB Stipulations**

2. The face of the service entrance section(s) shall be flush with the building façade and painted to match the building.
3. All exterior mechanical, utility, and communications equipment shall be screened by parapet or wall that matches the architectural color and finish of the building. Wall or parapet height for roof-mounted units shall meet or exceed the height of the tallest unit. Wall height for ground-mounted units shall be a minimum of 1 foot higher than the tallest unit.
4. All exterior conduit and raceways shall be painted to match the building.
5. No exterior roof ladders shall be allowed where they are visible to the public or from an off-site location.
6. Roof drainage systems shall be interior, except that overflow scuppers are permitted. If overflow scuppers are provided, they shall be integrated with the architectural design.
7. Dooley wall fencing shall not be allowed.
8. All walls shall match the architectural color, materials and finish of the building(s).
9. The location of bank equipment at the drive-thru shall be consistent with the location depicted on the above referenced elevation.
10. Pneumatic tubing shall be routed underground or completely concealed within the roof structure of the drive-thru canopy. Except for the user interface, pneumatic tubing shall be completely concealed by structure matching the architectural color, material, and finish of nearby building walls as it exits the ground or roof structure. Removable access panels for maintenance are permitted on the side of the user interface.

## **ATTACHMENT B**



11. Perforation of the aluminum curtain wall shall not exceed 50%.
12. The bottom of the aluminum curtain wall on the west elevation at the entry tower element shall be raised to expose the storefront entry, improving the legibility of the building entrance. The bottom of the curtain shall be at a height that continues the line defined by the recessed brick accent or the lowest EIFS accent band.
13. Spandrel panels, if used, shall have an external appearance matching vision glazing.
14. The drive-thru canopy shall have a fascia board, the bottom of which is a minimum of 8 inches lower than any light fixture lenses mounted within the canopy.

**SITE DESIGN:****DRB Stipulations**

15. Retention basin area to the west of the building shall not exceed 50% of on lot frontage open space provided.

**LANDSCAPE DESIGN:****DRB Stipulations**

16. Upon removal of the salvageable native plants the salvage contractor shall submit completed Native Plant Tracking Form as well as a list identifying the tag numbers of the plants surviving salvage operations to the City's Inspection Services Unit within 3 months from the beginning of salvage operations and/or prior to the issuance of the Certificate of Occupancy.
17. Cut and fill slopes shall be rounded to blend with the existing contours of the adjacent natural grades.
18. All substitutions of plant material must be approved by the City of Scottsdale.
19. Final location of all plant material must be consistent with the above referenced landscape plan.
20. Any future median cut for left turn from the site onto Scottsdale Road shall require revision and re-approval of the landscape plan to eliminate conflicts with the new sight visibility triangle as defined in the Design Standards and Policies Manual, Section 3.1, Figure 13 as applied to the intersection of the site driveway with Scottsdale Road.

**EXTERIOR LIGHTING DESIGN:****DRB Stipulations**

21. All exterior luminaires shall meet all IESNA requirements for full cutoff, and shall be aimed downward and away from property line except for sign lighting.
22. The individual luminaire lamp shall not exceed 250 watts.
23. The maximum height from finished graded to the bottom of the any exterior luminaire shall not exceed 20 feet.
24. All exterior light poles, pole fixtures, and yokes shall be a flat black or dark bronze.
25. Incorporate into the project's design, the following:

**Parking Lot and Site Lighting:**

- a. The maintained average horizontal illuminance level, at grade on the site, not including the drive-thru canopy area, shall not exceed 2.5 foot-candles. All exterior luminaires shall be included in this calculation.
- b. The maintained maximum horizontal illuminance level, at grade on the site, not including the drive-thru canopy area, shall not exceed 10.0 foot-candles. All exterior luminaires shall be included in this calculation.

- c. The initial vertical illuminance at 6.0 foot above grade, along the entire property line (or 1 foot outside of any block wall exceeding 5 foot in height) shall not exceed 1.5 foot-candles. All exterior luminaries shall be included in this calculation.

**Drive-Thru Canopy Lighting:**

- d. The maintained average horizontal illuminance level, at grade under the canopy, shall not exceed 7.5 foot-candles. The maintained maximum horizontal illuminance level, at grade under the canopy, shall not exceed 15 foot-candles.
- e. Light fixtures under canopy shall be completely recessed into the canopy with flat lenses that are translucent and completely flush with the bottom surface of the canopy.
- f. Lights shall not be mounted on the top or sides of the canopy.
- g. The sides or fascias of the canopy shall not be illuminated.

**Building Mounted Lighting:**

- h. All luminaries shall be recessed or shielded so the light source is not directly visible from property line.

**VEHICULAR AND BICYCLE PARKING:**

**DRB Stipulations**

- 26. Bike rack design shall be in conformance with City of Scottsdale M.A.G. Details unless otherwise approved in writing by the City of Scottsdale's Transportation Department.

**ADDITIONAL PLANNING ITEMS:**

**DRB Stipulations**

- 27. No exterior vending or display shall be allowed.
- 28. Flagpoles, if provided, shall be one piece, conical, and tapered.
- 29. Patio umbrellas shall be solid colors and shall not have any advertising in the form of signage or logos.

**RELEVANT CASES:**

**Ordinance**

- A. At the time of review, the applicable zoning and Use Permit cases for the subject site were: 47-ZN-1964 and 36-UP-2004.

## ENGINEERING

The following stipulations are provided to aid the developer in submittal requirements, and are not intended to be all inclusive of project requirements. The developer shall submit engineering design reports and plans that demonstrate compliance with city ordinances, the Scottsdale Revised Code and the Design Standards and Policies Manual.

### **APPLICABLE DOCUMENTS AND PLANS:**

30. Conceptual grading and drainage plan by DWL architects and dated 3/18/05 (incomplete needs to add deceleration lane in the plan ).
31. Conceptual Drainage report by DRW Engineering and dated March 18, 2005.
32. Aerial photo print of the site.

### **CIVIL IMPROVEMENT PLAN REQUIREMENTS:**

#### **DRB Stipulations**

33. Corrected site plan with the deceleration lane showing is required.
34. Final drainage report with all the stormwater data and routing information are required.
35. Cross access easement dedication documents with adjacent site.

### **DRAINAGE AND FLOOD CONTROL:**

#### **DRB Stipulations**

36. A final drainage report shall be submitted that demonstrates consistency with the conceptual drainage report approved in concept by the Planning and Development Services Department.
  - a. Before the approval of improvement plans by city staff, the developer shall submit two (2) hard copies and one (1) compact disc copy of the complete final drainage report and plan.

#### **USE IF THERE IS A MASTER PLAN REQUIREMENT:**

37. Demonstrate consistency with the approved master drainage plan and report. (NAME, DATE, ETC. )
  - a. Any design that modifies the approved master drainage report requires from the developer a site-specific addendum to the final drainage report and plan, subject to review and approval by the city staff.
  - b. Addendum generated by the final drainage analysis for this site shall be added to the appendix of the final drainage report.
38. Basin Configuration:
  - a. Basin side slopes shall not be steeper than 4:1, and basin depths shall not exceed 3 feet.
  - b. A maximum of 50% of the front open space may be used as a retention/detention basin unless approved by the Project Coordination Manager.
39. Stormwater Storage on Paved Surfaces. Up to 50% of required stormwater storage may be provided in parking areas when the following conditions are met:
  - a. Storage system shall be designed to store first 30% of required runoff volume off paved areas (to avoid ponding of nuisance water on pavement).
  - b. Parking lot storage areas shall be designed so as to minimize interference with pedestrian traffic. Depth of water shall not exceed six inches within the parking area.



**Ordinance**

- B. On-site stormwater storage is required for the full 100-year, 2-hour storm event. The design of the storage basin capacity shall account for any proposed landscaping improvements. The landscaping improvements within the basins shall not reduce the capacity of the basins under the required volume.
- (1) Basin bleed-off rates shall be set so that the storage basins do not drain completely in less than 24 hours. Storage basins must drain completely within 36 hours.
  - (2) Infiltration of stormwater through the basin floor is not acceptable as the sole means of draining the basin. Stormwater storage basins should be designed to meter flow to the historic out-fall point. Where an historic out-fall point does not exist (or metering is not possible), other methods of discharge such as pumps, etc. may be considered.
  - (3) Stormwater storage basins may not be constructed within utility easements or dedicated right-of-way (exceptions may be granted with written approval from appropriate utility company).
  - (4) Off-site runoff must enter and exit the site as it did historically.
  - (5) All development shall be designed to satisfactorily convey the 100-year peak discharge through the site without significant damage to structures.
- C. With the final improvement plans submittal to the Plan Review and Permit Services Division, the developer shall submit a final drainage report and plan, subject to City staff approval.
- D. Underground Stormwater Storage:
- (1) Underground stormwater storage is prohibited unless approval is obtained from the City's Floodplain Administrator.
  - (2) Drywells are not permitted.

**ROADWAY, INTERSECTION, AND ACCESS DESIGN:****Streets and other related improvements:**

<b>STREET NAME</b>	<b>STREET TYPE</b>	<b>R.O.W. DEDICATION</b>	<b>ROADWAY IMPROVEMENT</b>	<b>CURB TYPE</b>	<b>BIKE PATH, SIDEWALK, TRAILS</b>
Scottsdale Road	Major Arterial	Additional may be required for the decel lane with bike lane.	Existing	Existing	4 foot wide bike path is required.

**DRB Stipulations**

40. The internal streets shall be private. The private street tracts shall be dedicated to provide emergency and service vehicle access and public utility construction and maintenance.
41. The developer shall design and construct the driveway on Scottsdale Road in general conformance with City of Scottsdale Standard Detail #2256 for CL, 2257 for CH, or 2258 for CI.

**Ordinance**

- E. The developer shall submit a detailed striping and signage plan with final plans. The striping and signage plan shall include all existing improvements and striping within 300 feet of the limits of construction, and all signs, striping, or other traffic control devices proposed to accommodate phased and ultimate construction.

**DRB Stipulations**

42. The developer shall provide a minimum parking-aisle width of 24 feet.
43. The developer shall provide internal circulation that accommodates emergency and service vehicles with an outside turning radius of 45 feet and inside turning radius of 25 feet.
44. The developer shall provide a minimum of 120 feet of queuing distance for all "drive-thrus" (Bank, fast-food, etc).
45. The developer shall provide a pedestrian connection from Scottsdale Road to the bank and to the future lots to be developed.

**Ordinance**

- F. Parking areas shall be improved with a minimum of 2.5 inches of asphalt over 4 inches of aggregate base.

**DRB Stipulations**

46. Sight distance easements shall be dedicated over sight distance triangles.
  - a. Sight distance triangles must be shown on final plans to be clear of landscaping, signs, or other visibility obstructions between 2 feet and 7 feet in height.
  - b. Refer to the following figures: 3.1-13 and 3.1-14 of Section 3.1 of the City's Design Standards and Policies Manual, published December 1999.
47. Vehicular Non-Access Easement:
  - a. Prior to final plan approval, the developer shall dedicate a 1-foot wide vehicular non-access easement along the property frontage on Scottsdale Road except at the approved driveway location.
48. Indemnity Agreements:
  - a. When substantial improvements or landscaping are proposed within a utility easement, an indemnity agreement shall be required. The agreement shall acknowledge the right of the City to access the easement as necessary for service or emergencies without responsibility for the replacement or repair of any improvements or landscaping within the easement.

**Ordinance**

G. Drainage Easement:

- (1) Drainage and flood control easements shall be dedicated to the City to the limits of inundation for all vista corridor washes, and for all stormwater storage basins. All drainage and flood control easements shall be dedicated to the City with maintenance responsibility specified to be that of the property owner.

H. Waterline and Sanitary Sewer Easements:

- (1) Before the issuance of any building permit for the site, the developer shall dedicate to the City, in conformance with the Scottsdale Revised Code and the Design Standards and Policies Manual, all water easements necessary to serve the site.

I. Public Utility Easement:

- (1) An 8-foot wide public utility easement shall be dedicated along both sides of internal streets. The 8-foot wide easements may be reduced or eliminated upon approval of the public utility companies.

**REFUSE:****DRB Stipulations**

49. Refuse enclosures shall be constructed to City of Scottsdale's standards. Details for construction of trash enclosures can be found in the City of Scottsdale Supplements to MAG Standards, standard detail #2146-1 for single enclosures and #2147-1 for double enclosures.

50. Enclosures must:

- a. Provide adequate truck turning/backing movements for a design vehicle of turning radius R (minimum) = 45 feet vehicle length of L = 40 feet.
- b. Be positioned to facilitate collection without "backtracking."
- c. Be easily accessible by a simple route.
- d. Not require backing more than 35 feet.
- e. Not be located on dead-end parking aisles.
- f. Enclosures serviced on one side of a drive must be positioned at a 30-degree angle to the centerline of the drive.

**Ordinance**

J. Refuse enclosures are required as follows:

- (1) Commercial Building Space: One for 0 to 20,000 s.f., Two for 20,001 to 40,000 s.f., Three for 40,001 to 60,000 s.f., etc.

K. Underground vault-type containers are not allowed.

L. Refuse collection methods, i.e., site plan circulation will be approved at final plan review.

M. Refuse collection can be provided by the City of Scottsdale's Sanitation Division, at 480-312-5600.

**WATER AND WASTEWATER STIPULATIONS**

The following stipulations are provided to aid the developer in submittal requirements, and are not intended to be all-inclusive of project requirements. Water and sewer lines and services shall be in compliance with City Engineering Water and Sewer Ordinance, the Scottsdale Revised Code and Sections 4 and 5 of the Design Standards and Policies Manual.

**WATER:****DRB Stipulations**

51. Basis of Design Report (Water):

- a. Before the improvement plan submittal to the Plan Review and Permit Services Division, the developer shall obtain approval of the Water Basis of Design Report from the City's Water Resources Department. The report shall conform to the draft Water and Wastewater Report Guidelines available from the City's Water Resources Department.

**Ordinance**

N. The water system for this project shall meet required health standards and shall have sufficient volume and pressure for domestic use and fire protection.

**WASTEWATER:****DRB Stipulations**

52. Wastewater Basis of Design Report. Before the improvement plan submittal to the Plan Review and Permit Services Division, the developer shall obtain approval of the Wastewater Basis of Design Report

from the City's Water Resources Department. The report shall conform to the draft Water and Wastewater Report Guidelines available from the City's Water Resources Department.

53. Existing water and sewer service lines to this site shall be utilized or shall be abandoned by disconnection at the main.

**Ordinance**

- O. Privately owned sanitary sewer shall not run parallel within the waterline easement.  
P. be located as to be readily and easily accessible for cleaning and inspection.

**CONSTRUCTION REQUIREMENTS**

**DRB Stipulations**

54. City staff may at any time request the developer to submit as-built plans to the Inspection Services Division.
- a. As-built plans shall be certified in writing by a registered professional civil engineer, using as-built data from a registered land surveyor.
  - b. As-built plans for drainage facilities and structures shall include, but are not limited to, streets, lot grading, storm drain pipe, valley gutters, curb and gutter, flood walls, culverts, inlet and outlet structures, dams, berms, lined and unlined open channels, storm water storage basins, underground storm water storage tanks, and bridges as determined by city staff.

**Ordinance**

- Q. Section 404 permits. With the improvement plan submittal to the Plan Review and Permit Services Division, the developer's engineer must certify that it complies with, or is exempt from, Section 404 of the Clean Water Act of the United States. [Section 404 regulates the discharge of dredged or fill material into a wetland, lake, (including dry lakes), river, stream (including intermittent streams, ephemeral washes, and arroyos), or other waters of the United States.]

**VERIFICATION OF COMPLIANCE**

**DRB Stipulations**

55. Condition for issuance of grading and drainage permit: Before the issuance of a Grading & Drainage Permit:
- a. Final drainage report with all the stormwater data and routing information are required.
  - b. Cross access easement dedication documents with adjacent site.
  - c. Access gate needs to be removed from the driveway on 73<sup>rd</sup> Street.